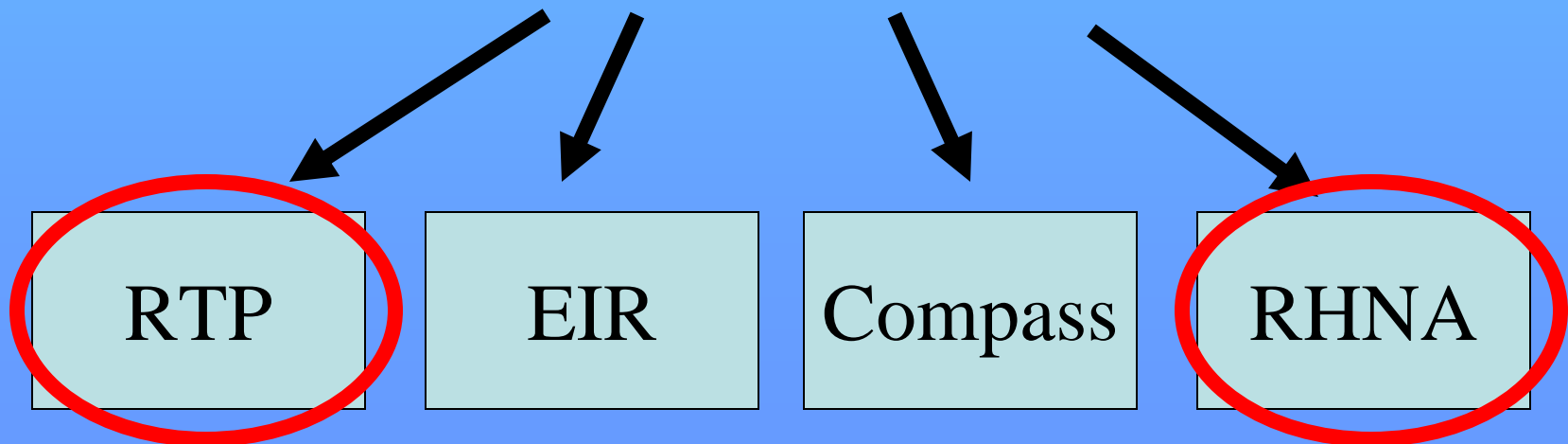
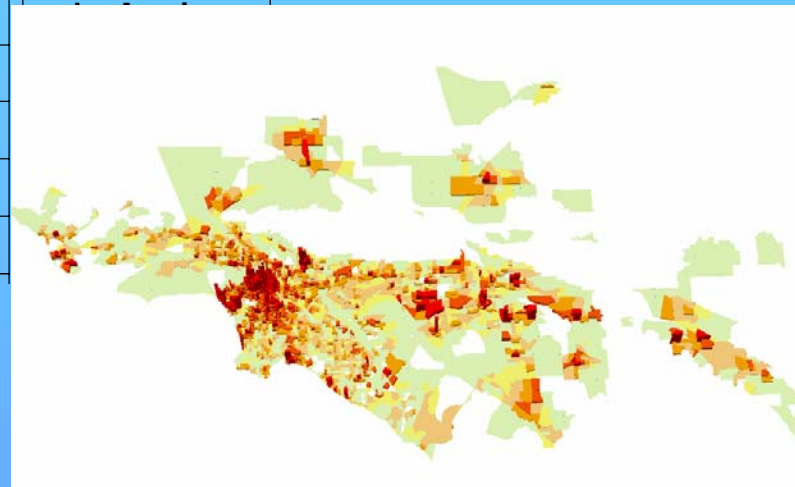
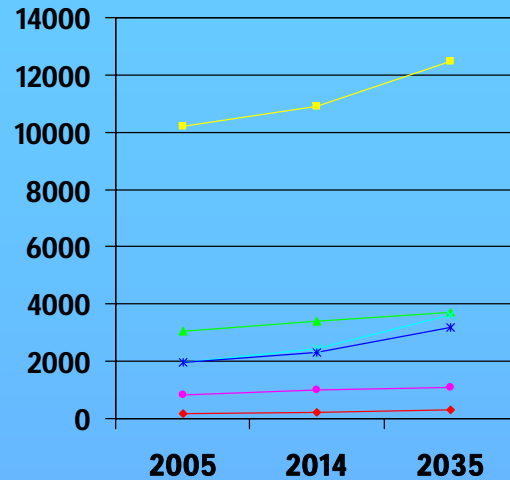


Integrated Growth Forecast / RHNA Second Public Hearing



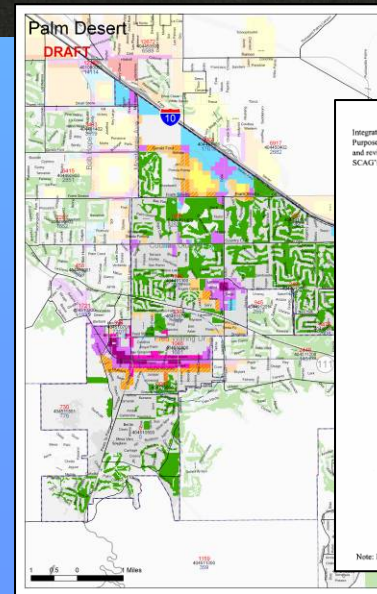
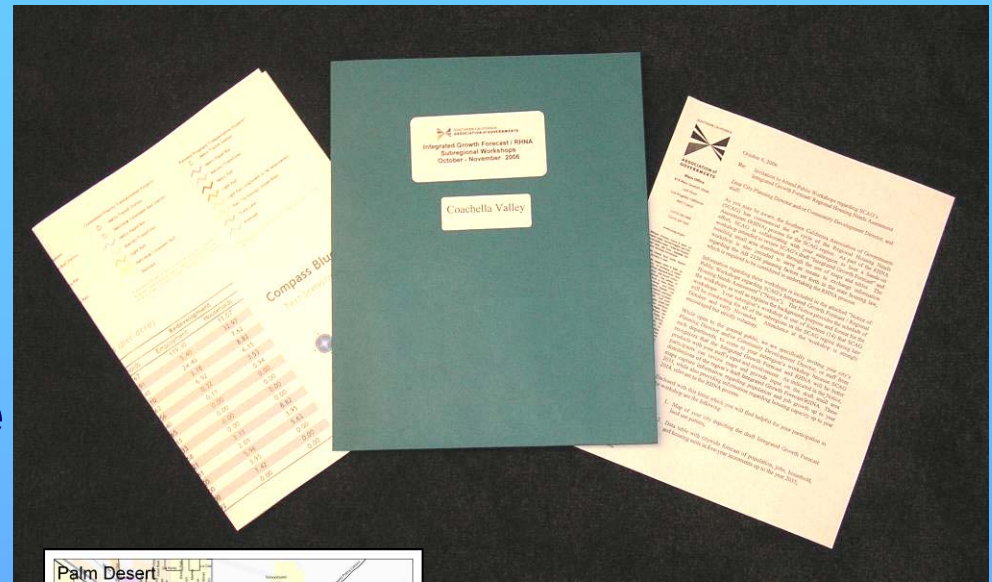
Recap
of Subregional Workshops January 11th, 2007

An Integrated Growth Forecast



Advance Information

- Letter
- TAZ #s – 2035
- Citywide #'s – 5-year intervals
- Maps of 2035 Land Use Test Scenario
- 2004 Subregional input summary
- IGR projects
- Growth Survey Responses
- AB 2158 Factors



Integrated Growth Forecast/WHNA
Purpose of item: for information and review only during the SCAG's subregional workshops.

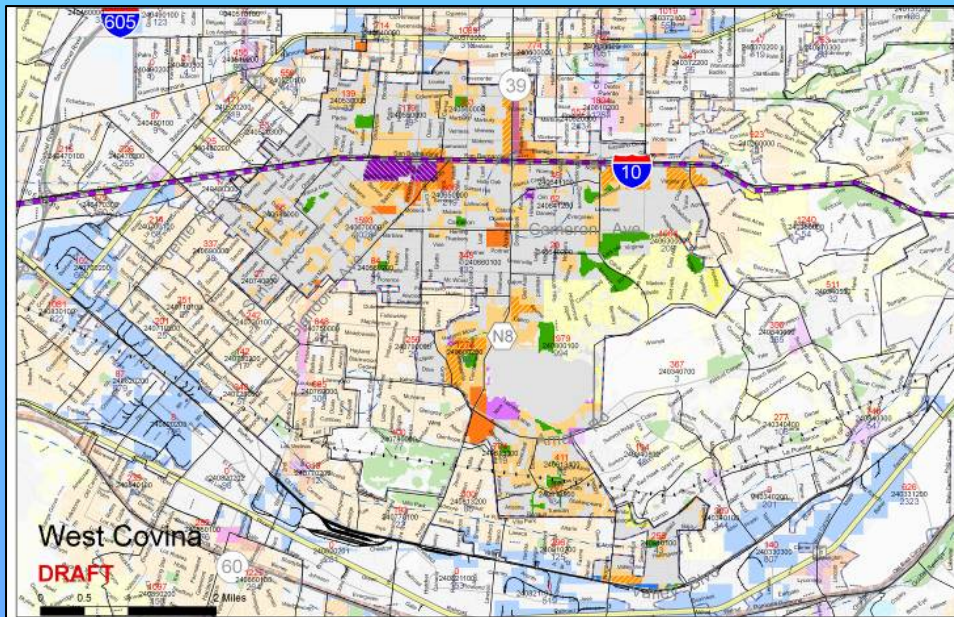
Coachella Valley:
Regional Integrated Forecast 2003-2035
Population Forecast - City Totals

COUNTY	p03	p05	p10	p15	p20	p25	p30	p35
REV	1,747,874	1,920,621	2,225,115	2,446,925	2,902,379	3,054,933	3,338,223	3,618,638
NEWSR	p03	p05	p10	p15	p20	p25	p30	p35
Coachella Valley COG	395,241	442,676	515,847	589,184	714,543	789,129	844,832	
CITY	p03	p05	p10	p15	p20	p25	p30	p35
Rhyolite city	21,666	22,134	24,403	26,155	28,579	30,614	32,981	33,981
Cathedral City	48,139	51,019	62,451	70,783	72,887	82,935	92,448	102,737
Coachella city	27,208	33,086	37,344	42,449	41,235	44,975	48,955	52,344
Desert Hot Springs city	17,507	20,759	28,216	33,881	35,019	41,978	48,187	54,349
Indian Wells city	4,433	4,836	5,454	5,903	6,916	8,000	9,355	10,739
Indio city	57,020	60,007	70,378	81,143	86,835	95,509	102,696	108,125
La Quinta city	31,601	37,369	43,411	47,822	48,925	54,295	59,215	63,315
Palm Desert city	44,549	49,367	54,101	57,420	58,231	62,224	65,476	67,488
Palm Springs city	44,312	48,219	49,366	49,801	50,322	52,213	55,417	60,091
Warwick city	15,303	16,386	18,095	20,406	23,017	25,076	28,719	30,342
Unincorporated	83,406	92,005	113,713	129,537	133,483	152,613	174,905	199,251

Note: Household growth (2005-2014), replacement needs, and vacancy needs are the 3 components to calculate RHNA construction needs.

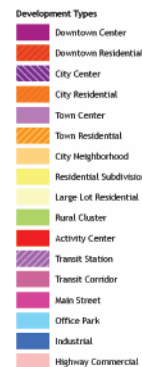
Page 1-1 Oct 4, 2006

Advance Packet: Map of Test Scenario



Describes the Scenario
Development Types

Includes Dwelling Units per
Acre, Employees per Acre,
and Redevelopment
Percentage



Development Densities (per acre)

Development Type	Vacant		Redevelopment	
	Employment	Households	Employment	Households
Downtown Center	298.26	27.67	119.30	11.07
Downtown Residential	18.01	109.91	5.40	32.97
City Center	81.35	25.41	24.40	7.62
City Residential	18.90	44.10	3.78	8.82
Town Center	27.69	24.62	6.92	6.15
Town Residential	2.15	23.56	0.32	3.53
City Neighborhood	1.07	9.40	0.11	0.94
Residential Subdivision	0.00	4.65	0.00	0.00
Large Lot Residential	0.00	2.11	0.00	0.00
Rural Cluster	0.00	0.33	0.00	0.00
Activity Center	28.68	22.58	0.00	0.00
Transit Station	9.52	25.21	3.33	8.82
Transit Corridor	8.03	15.81	2.01	3.95
Main Street	17.04	16.05	5.96	5.62
Office Park	39.50	0.00	3.95	0.00
Industrial	14.18	0.00	1.42	0.00
Highway Commercial	7.82	5.92	0.00	0.00

* Committed Priority Projects include those in the Draft 2014 Regional Transportation Improvement Program (RTIP) and projects in the Governor's Traffic Congestion Relief Program.



** Planned/Proposed Projects include candidate projects for the Draft 2014 RTIP.

Compass Blueprint
Test Scenario 2035



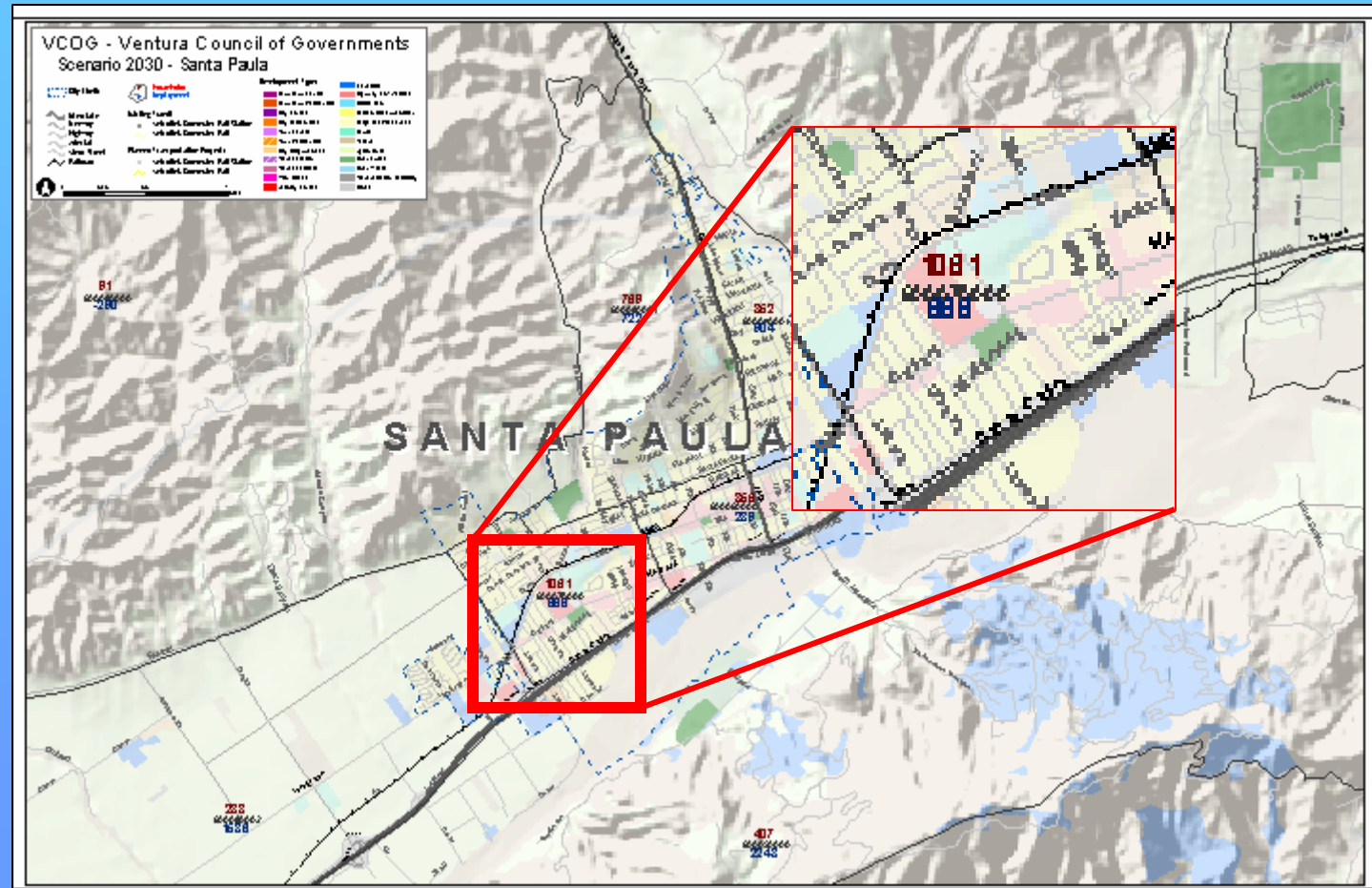
Subregion Maps

Advance Packet

Two 11x17
maps of the
city

Growth Vision
and General
Plan

With Growth
Numbers



Workshop Format

- Presentation on 2035 RTP test land use scenario
- Small group mapping exercise focused on 2035 RTP test scenario
- Presentation on State of California's Regional Housing Needs Assessment and 2014 Housing Unit input process
- Discussion of 2014 citywide housing unit numbers and local planning factors
- Public Comment Period

Extensive Participation

- 15 Subregional Workshops
- Over 400 participants
- 165 Cities
- 6 Counties
- 2 Native American Tribes
- Nearly 1,300 2035 comments
- 425 RHNA input comments at workshops



Scenario Refinement

- Small groups discuss the Land Use
- They made changes writing on the map and using a written record
- Facilitator recorded changes



Description Map Revisions for 2035 Subregion _____ page ____	
Location or Sticker with # (Intersection or boundaries from streets or natural features)	Map Revision



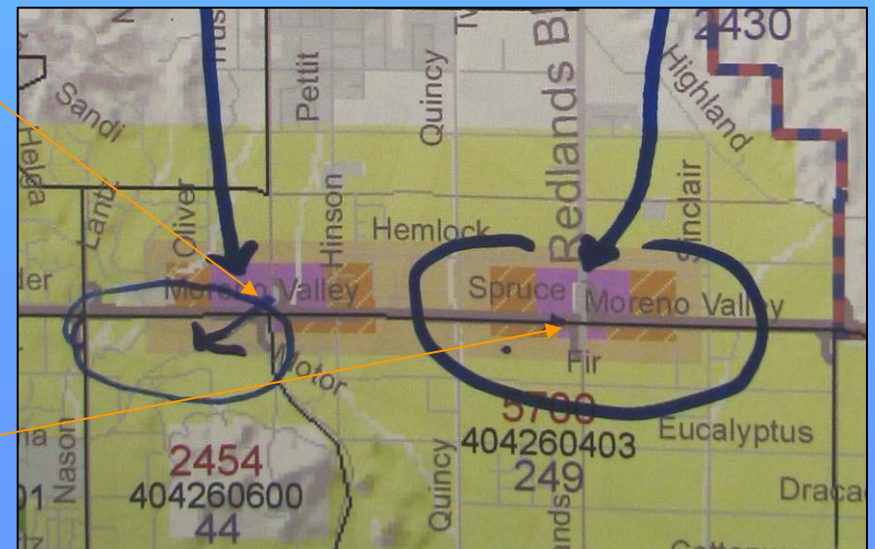
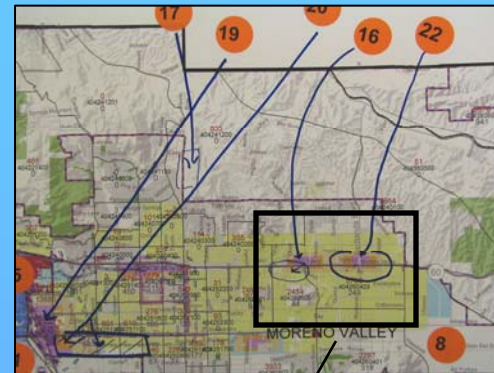
Detailed Long-range Input

16	<p>Move Town Center + Town Residential south west of HWY 60 between Moreno Beach + Nason.</p>
----	--

Comment #16: "Move Town Center and Town Residential south of Hwy. 60 between Moreno Beach and Nason"

22	<p>Use Revised Moreno Valley G.P. Designation (Revised July 2006) It is less dense.</p>
----	---

Comment #22: "Currently zoning is industrial and business park, not residential"



Comparison of Updated 2004 RTP to Workshop

Totals	2,307,824	2,530,632		3,058,483	2,235,495	2,368,946		2,843,061
	Trend				Workshop Input			
	HH	HU	HU to HH	EMP	HH	HU	HU to HH	EMP
Subregion	Incr	Incr	Incr	Incr	Incr	Incr	Incr	Incr
Imperial	48,901	54,600	112%	59,807	64,291	71,200	111%	65,508
North LA	185,195	200,005	108%	161,127	199,741	215,205	108%	147,427
City of LA	345,000	359,397	104%	320,809	358,264	373,170	104%	325,240
Arroyo Verdugo	22,054	22,425	102%	33,561	14,395	14,611	101%	52,624
San Gabriel	177,318	181,397	102%	130,418	127,664	130,685	102%	118,824
Westside Cities	11,426	11,995	105%	35,322	9,982	10,385	104%	24,812
South Bay Cities	47,456	48,688	103%	36,233	37,399	14,518	39%	32,575
Gateway Cities	108,361	111,960	103%	96,438	81,270	12,457	15%	72,328
Las Virgenes	14,659	15,550	106%	10,482	3,876	4,230	109%	5,339
LA County Total	911,470	951,417	104%	824,391	832,591	775,261	93%	779,169
Orange County	149,776	160,314	107%	515,961	143,465	153,973	107%	413,494
Western Riverside	500,515	538,485	108%	618,678	511,494	550,790	108%	616,107
Coachella	158,989	223,063	140%	212,261	171,456	241,943	141%	206,998
Riverside County Total	659,504	761,548	115%	830,939	682,951	792,733	116%	823,104
SANBAG	441,888	503,079	114%	681,962	439,650	500,979	114%	654,964
Ventura	96,286	99,674	104%	145,423	72,548	74,800	103%	106,822
	LEGEND							
		Increase						
		Substantial increase (>=33%)						
		Decrease						
		Substantial decrease (>=33%)						
		Negligible difference						

RHNA – Examining the Factors

- Use Maps and Form for Input to SCAG regarding Local Planning Factors (AB 2158 Factors)

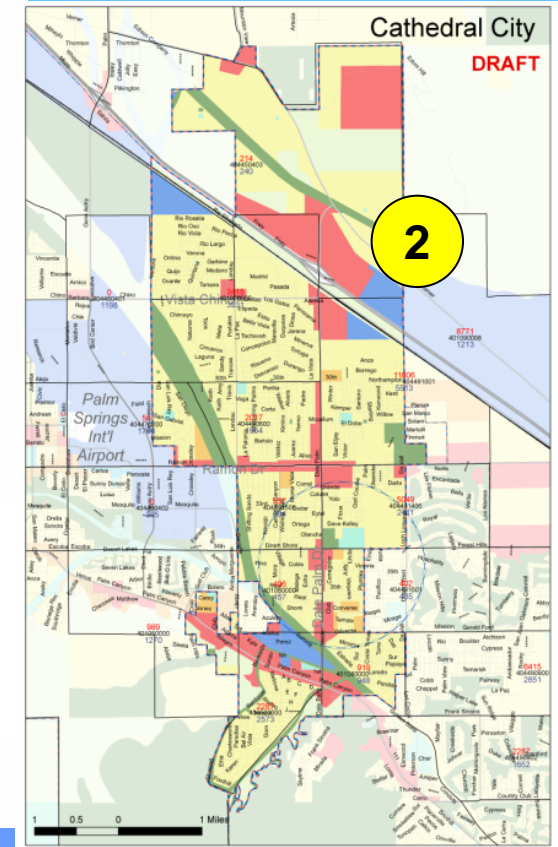


SOUTHERN CALIFORNIA
ASSOCIATION of GOVERNMENTS

Input regarding Local Planning Factors (RHNA)

City: _____ Subregion: _____
Contact Person: _____ Phone Number/Email: _____

FACTOR	MAP REVISION / DESCRIPTION OF INPUT RECEIVED
1. Existing and projected job housing balance.	
2. Lack of capacity for sewer or water service due to federal and state laws, regulations or regulatory actions, or supply and distribution decisions made by a sewer or water service provider other than the local jurisdiction that preclude the jurisdiction from providing necessary infrastructure for additional development during the planning period.	
3. The availability of land suitable for urban development or for conversion to residential use, the availability of underutilized land, and opportunities for infill development and increased residential densities. <i>(Note: SCAG cannot limit this factor to existing zoning and land use restrictions, but must consider under existing law the potential for increased residential development under alternative zoning ordinances and land use restrictions.)</i>	2 Cities provided information that limit or facilitate housing development
4. Lands preserved or protected from urban development under existing federal and state programs, or both, designed to protect open space, farmland, environmental habitats, and natural resources on a long-term basis.	
5. County policies to preserve agricultural land within an unincorporated area.	



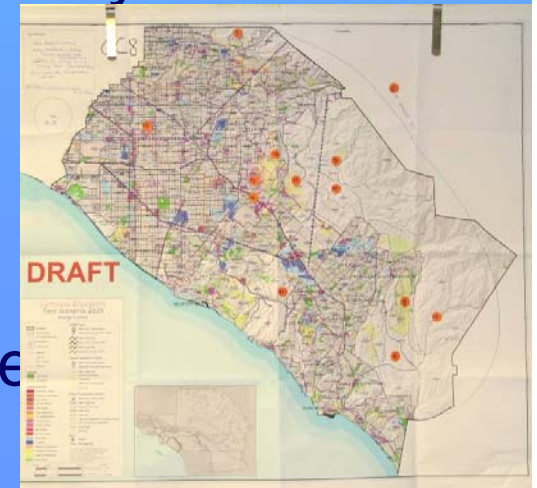
General Observations

- Great dialogue and input to both the 2035 RTP and the RHNA.
- Participants were engaged - appreciated of the transparency
- In many cases, both forecasts were perceived high
- Much inconsistency presented.
 - Some cases 2035 looked good
 - Short-term (2014) gave cities pause
 - Mapped input may not match City's expected forecast



General Observations

- Accommodating the forecast often difficult when mapped
- Sub-regions most concerned about near-term growth
- Dense urban areas more open to mixed use and TOD
- More suburban cities looking toward more intensity, but demand may not be there yet
- Jobs/HH balance coupled with affordability was a key issue
- Mixed responses on local input
 - Some assumed city limits
 - Some assumed Sphere
 - Others made logical estimate of future size



Using AB 2158 Input

For purposes of developing the allocation methodology, SCAG is applying these factors in accordance with the law so as to best meet the objectives of RHNA in providing more housing for the region.

To the extent that local jurisdictions provided information consistent with the law, SCAG has and will continue to take this information into account.

**Factor 1: Each member jurisdiction's
existing and projected jobs and housing
relationship.**

63 total comments

Factor 1: Jobs/Housing Balance

Examples of Comments **Consistent with the Law**

- “...there is out flow of residential trips for work and daily needs, therefore emphasis on developing jobs, etc, and some mixed-use.”
- “City is 85-90% residential job housing balance is 4 houses to each job.”
- “8 currently... continuing trend not sustainable.”

Factor 1: Jobs/Housing Balance

Examples of Comments Not Consistent with the Law

- “As housing relocates to commercial and industrial properties jobs are displaced. Good industrial jobs are being replaced with minimum wage positions.”
- “Projected population too high, area is very low density and parkland, and state park.”
- “Heavy industrial area with large parcels, lots of job potential, but housing maybe inappropriate.”

Factor 2: The opportunities and constraints to development of additional housing in each member jurisdiction, including:

Lack of capacity for sewer or water service due to federal or state laws, regulations or regulatory actions, or supply and distribution decisions made by a sewer or water service provider other than the local jurisdiction that preclude the jurisdiction from providing necessary infrastructure for additional development during the planning period.

33 total comments

Factor 2A: Lack of capacity for sewer or water

Examples of Comments **Consistent with the Law**

- “Two competing water agencies Beaumont Cherry Valley Water Agency, The Pass Area Water Agency (Primary). Project that water wont be available until 2011.”
- “The Las Virgines water district has determined that there will be no sewers in this area.”

Factor 2A: Lack of capacity for sewer or water

Examples of Comments **Not Consistent with the Law**

- “Infrastructure must be reconstructed to accommodate additional growth.”
- “City was master planned and developed with certain population and certain infrastructure assumptions. Incorporated in 2000 as a built out city based on the original master plan.”
- “Local sewer system is at capacity growth cannot occur unless the city upgrades the existing system. Funding is a major constraint.”

Factor 2B: The opportunities and constraints to development of additional housing in each member jurisdiction, including:

The availability of land suitable for urban development or for conversion to residential use, the availability of underutilized land, and opportunities for infill development and increased residential densities. The council of governments may not limit its consideration of suitable housing sites or land suitable for urban development to existing zoning ordinances and land use restrictions of a locality, but shall consider the potential for increased residential development under alternative zoning ordinances and land use restrictions.

Factor 2B: The availability of land suitable for urban development

Examples of Comments **Consistent with the Law**

- “Flood Plains. Whitewater River. Slopes, all unsuitable for development.”
- “Projections are too low... the Boeing site is anticipated to be developed over the next 25 years for commercial and residential.”
- “City is relatively built-out, however new redevelopment zones may allow mixed use development which may increase housing possibilities.”

Factor 2B: The availability of land suitable for urban development

Examples of Comments **Not Consistent with the Law**

- “There is no land for further residential development or redevelopment and no potential for urban infill.”
- “2nd densest city in COG approx. 65K population on 3sq miles yet still looking @ redevelopment code enforcement issues.”
- “Restriction towards residential density, all over.”

Factor 2C: The opportunities and constraints to development of additional housing in each member jurisdiction, including:

Lands preserved or protected from urban development under existing federal or state programs, or both, designed to protect open space, farmland, environmental habitats, and natural resources on a long-term basis.

57 total comments

Factor 2C: Lands preserved or protected... under federal or state programs.

Examples of Comments **Consistent with the Law**

- “South Central Moreno Valley bounded by Lake Perris and surrounding hills, a state park.”
- “Much of the protected open space in the city is owned by state agencies or water district for the purpose of habitat or water quality preservations.”

Factor 2C: Lands preserved or protected... under federal or state programs.

Examples of Comments **Not Consistent with the Law**

- “City is already short on parks and open spaces for existing and proposed housing population.”
- “Existing Army Corps of Engineers (FED) Land is likely considered "hands off" for any major land use changes.”
- “MSHCP- draft form, expected to be adopted, affects developable hillsides.”
- “Protected permanent open space, see city's general plan.”

Factor 2D: The opportunities and constraints to development of additional housing in each member jurisdiction, including :

County policies to preserve prime agricultural land, as defined pursuant to Government Code Section 56064, within an unincorporated area.

10 total comments

Factor 2D: County policies to preserve prime agricultural land

Examples of Comments **Consistent with the Law**

- “Area adjacent to commercial and residential developments. USDA/ county/ state research station, agriculture, to remain for at least 10 years.”
- “Lands preserved under mitigation AD161.”

Factor 2D: County policies to preserve prime agricultural land

Examples of Comments **Not Consistent with the Law**

- “Residential agricultural properties- avocado farms.”
- “San Jacinto Wildlife Area.”
- “LAFCO is limiting annexation which is only way to get water service which restricts new development.”

Factor 3: The distribution of household growth assumed for purposes of a comparable period of regional transportation plans and opportunities to maximize the use of public transportation and existing transportation infrastructure

30 total comments

Factor 3: The distribution of growth for a regional transportation plan

Examples of Comments **Consistent with the Law**

- “LA Sierra Station is planned for a TOD.”
- “Circulation elements, 50 year plan. Expressway outside freeway, prevent congestion. Rail trolley from border- Calexico to Brawley.”
- “The OCP be incorporated into the RTP and it would accurately reflect growth both RHNA and RTP.”

Factor 3: The distribution of growth for a regional transportation plan

Examples of Comments **Not Consistent with the Law**

- “Properties in and around transit centers are densely developed, therefore there are no available land to develop transit oriented developments.”
- “TOD is challenged by environmentally challenged land adjacent to the transportation center.”
- “Wilshire redline extension is Tenuous at best.”

Factor 4: The Market Demand for Housing

31 total comments

Factor 4: The Market Demand for Housing

CEHD Committee concluded that the Integrated Growth Forecast has adequately addressed this factor. No further adjustments will be considered.

**Factor 5: Agreements between a
county and cities in a county to direct
growth toward incorporated areas of
the county**

7 total comments

Factor 5: Agreements between a county and cities in a county to direct growth toward incorporated areas of the county

Examples of Comments **Consistent with the Law**

- **No input regarding agreements between
County and cities**

Factor 5: Agreements between a county and cities in a county to direct growth toward incorporated areas of the county

Examples of Comments **Not Consistent with the Law**

- “Good deal of annexation over last few years, higher end housing in newly annexed area.”
- “Property owners and county only want annexed land w/development agreements, artificially drives up cost of land.”
- “Growth must be located in incorporated areas, because of infrastructure.”

Factor 6: The loss of units contained in assisted housing developments, as defined in paragraph (8) of subdivision (a) of Government Code Section 65583, that changed to non-low-income use through mortgage prepayment, subsidy contract expirations, or termination of use restrictions.

10 total comments

Factor 6: The loss of units contained in assisted housing developments

CEHD Committee approved a policy that combines an Existing Housing Needs Statement with the discretion of local jurisdictions.

Thus, SCAG will provide the data for this factor to local jurisdictions to adequately plan for the loss of at-risk low income units in preparing their housing elements.

Factor 7: High Housing Cost Burdens

33 total comments

Factor 7: High Housing Cost Burdens

CEHD Committee adopted the use of a 3.5% vacancy rate for future household growth for all jurisdictions broken down by renter and owner status, rather than the Census 2000 rate of 2.7% for all housing types.

In addition, for those jurisdictions defined as “impacted” in the categories of low and very low income groups, the jurisdiction’s respective vacancy rate from 2000 Census should be used if it is lower than 3.5%.

Factor 8: The Housing needs of farm workers

3 total comments

Factor 8: The Housing needs of farm workers

CEHD Committee approved a policy that combines an Existing Housing Needs Statement with the discretion of local jurisdictions. SCAG will provide the farmworker housing need data for local jurisdictions to adequately plan for such need in preparing their housing elements. These data include:

- Farmworkers by occupation**
- Farmworkers by industry**
- Place of work for agriculture**

Factor 9: The housing needs generated by the presence of a private university or a campus of the California State University or the University of California within any member jurisdiction.

13 total comments

Factor 9: Housing needs near Universities

Examples of Comments **Consistent with the Law**

- “A significant percentage of the city's growth involves the increase in college students. These students for the most part (95%) will be housed in new dorms. New dorm rooms should be used to satisfy new housing needs for the growth of student population.”
- “Very little, 12 housing units, designed for foreign students, secondary in Brawley extension.”

Factor 9: Housing needs near Universities

Examples of Comments **Not Consistent with the Law**

- “LA Sierra University”
- “There is a local college and as a result this area carries an additional housing burden generated by local students who attend the college who are renters.”

Factor 10: Any other factors adopted by the council of governments.

46 total comments

The input received regarding other factors was predominately related to the sub-factors within Factor 2, regarding availability of land and infrastructure.

At this time, no additional factors are being considered for the allocation methodology.

Integrated Growth Forecast / RHNA Second Public Hearing

